



DCPOC RULES & REGULATIONS

Background

In March 2022, the Don Ce-Sar Property Owners Corporation (DCPOC) acquired title to Blocks M and N as depicted on the plat of Don Ce-Sar Place and survey.

These two blocks fronting the Gulf of Mexico, lying respectively North and South of the Don Cesar Hotel, extend from the mean high-water mark of the Gulf of Mexico easterly to the western boundary lines of the adjacent platted lots, a line lying approximately one foot east of the existing sidewalk.

Included within the two blocks are areas of both dry white sand and vegetation commonly referred to as the “dunes.”

As the owner of Blocks M and N, DCPOC is vested with certain rights which have been codified in a Florida statute commonly referred to as Private Property Rights or Property Owner’s Bill of Rights among which are the right to possess and protect its property and the right to exclude others from the property.

The foregoing rights, however, are subject and subordinate to certain rights granted in the plat of Don CeSar Place to all owners of property within the subdivision, namely, the right to use all of the two blocks for “beach and bathing purposes.”

In this context, the current DCPOC Board elected by its Members has been focusing on establishing rules that not only protect, preserve, and beautify the property it owns but also rules and regulations which are designed to preserve, protect and maximize the right of all property owners to enjoy and use the two blocks for beach and bathing purposes.

It should be noted at this point that when someone purchases property within the Don CeSar neighborhood, the property owner does not acquire any legal interest in title to Blocks M and N. The only right acquired by that property owner is that provided in the plat of the subdivision as noted above. Nothing more and nothing less.

However, because every property owner automatically becomes a member of DCPOC and is vested with the right to determine collectively and from time to time the composition of the elected Board, every property owner indirectly controls the policies, rules and regulations adopted by DCPOC.

It is recognized that likely not all members will agree to the propriety of all rules and regulations adopted from time to time by any Board. However, until modified or deleted, each of the rules is enforceable and must be followed.

Additionally, all of Blocks M and N are also subject to certain rules and regulations lawfully adopted by the City of St. Pete Beach. Furthermore, that portion of Blocks M and N lying seaward of the “Coastal Construction Line” (CCL) are subject to certain rules and regulations lawfully adopted by Florida’s Department of Environmental Protection. Such rules are noted below.

Caveat:

The dune system of our beach is the first line of defense against storms because the system acts as a buffer between the storm waves and our homes. During storms, the waves encounter the beach and its dune system prior to reaching the upland properties thereby absorbing wave energy and reducing the damage to upland structures that would otherwise be suffered.

The Board considers that, among DCPOC’s solemn obligations, is its duty to preserve, protect and enhance the dune system and to minimize any compromise of its benefits to all of us.



DCPOC RULES & REGULATIONS

In this light, the current Board envisions the day when DCPOC has the wherewithal to construct strategically located footbridges over the dunes for use by its members when accessing the dry white sands of Blocks M and N.

Thus, nothing in these proposed rules and regulations is to be interpreted in a manner that would operate in any way as an impediment to this vision or to restrict the right of DCPOC to amend, delete or modify any rule or regulation it may have adopted

The Rules and Regulations

By virtue of Florida Department of Environmental Protection

1. All persons are required to stay within the established pathways through the dunes when accessing the dry white sands of the two Blocks or the Gulf of Mexico.
2. Property Owners may not disturb or tamper with beach or dune vegetation, cause damage to a dune, or conduct any activity intended to improve or enhance a dune without obtaining the necessary permits from the Florida Department of Environmental Protection, the City of St Pete Beach, and DCPOC. The DCPOC may remove anything placed in the dunes if mandated by any federal, state, or local authority.

By virtue of City of St Pete Beach Ordinances

3. All articles, such as chairs, tables, umbrellas, toys, towels, trash, etc., may not remain overnight on the two Blocks. All such articles must be removed from the two Blocks.
4. Absent the specific written authorization of DCPOC, no new foot pathways through the dunes to the dry white sands of the two Blocks may be created by any person.
5. Absent the specific written authorization of DCPOC, no person, including a property owner, may offer on the two Blocks any service to be performed thereon or anything for sale, rent, or trade.
6. Excepting emergency, law enforcement vehicles, and City vehicles responding to an emergency or performing their normal duties, no motorized vehicles are allowed on the two Blocks.
7. Excepting lawfully recognized service animals, no pets are allowed on the two Blocks.
8. Fireworks are not allowed either on or projected over the airspace of the two Blocks.
9. Fires are not allowed on the two Blocks.

By DCPOC

1. Absent the specific written authorization of DCPOC, no soliciting or canvassing may occur on the two Blocks.
2. No structure of any kind shall be erected or placed on the two Blocks.
3. Until otherwise required by any federal, state, or local authority, all enhanced or embellished foot pathways in existence at the time of the adoption by DCPOC of these rules may be maintained by any member but only in



DCPOC RULES & REGULATIONS

substantially the same form and/or condition and within the confines of the location existing at the time of the adoption of these rules unless authorized in writing otherwise by DCPOC.

4. No person may alter, damage, or remove any structure, fence, gate, or landscape established or authorized on the two Blocks by DCPOC.
5. Absent the specific written authorization otherwise by DCPOC, no pruning of any vegetation shall be permitted. Excepting agave plants, sandspurs and other harmful invasive vegetation, nothing herein shall be construed to authorize the total removal of any vegetation within the described thirty feet.
6. Absent the specific written authorization of DCPOC, no wedding or other organized public activity or event may occur anywhere on the two Blocks.
7. All property owners are responsible for the conduct and actions of their tenants using the two Blocks for any purpose and for ensuring compliance with these rules and regulations.
8. The Board requires that the owner of a rented or leased property within Don CeSar Place provide his or her tenant or lessee with a copy of these rules.
9. Property owners are responsible for their authorized tenants or lessees use of the Blocks and compliance of these Rules and Regulations. DCPOC may seek indemnification and/or reimbursement from the relevant property owner for defense of any claims arising in any way whatsoever from the property owner's authorization of a tenant's or lessee's use of the Blocks.



A BOUNDARY SURVEY OF

The East line of Block "M" and the East line of Block "N," DON CE-SAR PLACE, as recorded in Plat Book 13, Pages 15 through 20, Public Records of Pinellas County, Florida.

St. Pete Beach, Florida

SHEET INDEX

1	DESCRIPTION, LEGEND, NOTES, VICINITY MAP, SIGNATURE AND SEAL
2	BOUNDARY SURVEY
3	BOUNDARY SURVEY
4	BOUNDARY SURVEY
5	BOUNDARY SURVEY
6	PHOTOS
7	PHOTOS

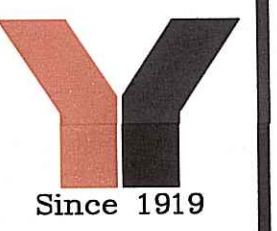
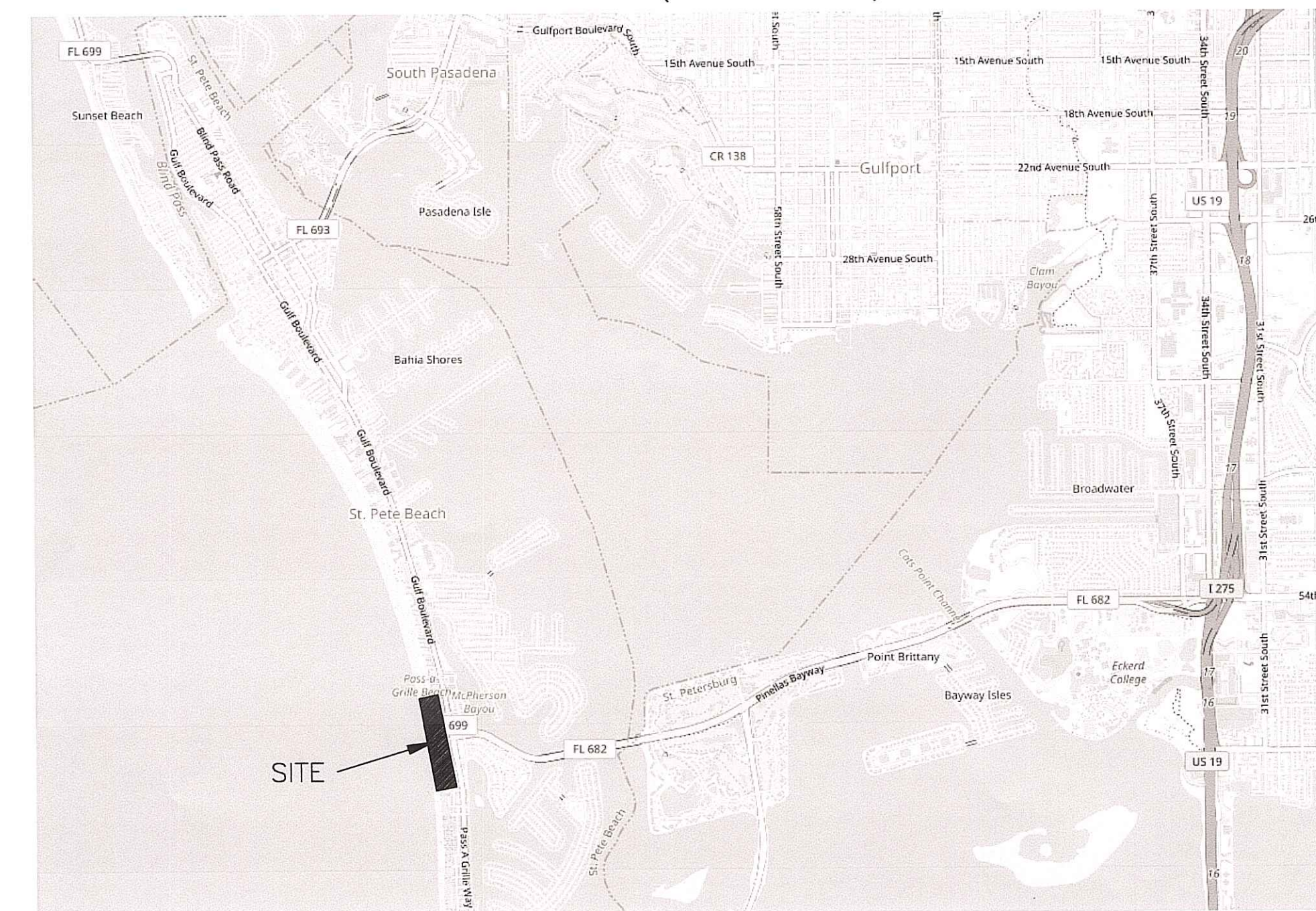
LEGEND

CALC	CALCULATED
CONC	CONCRETE
FIR	FOUND IRON ROD
LB	LICENSED BUSINESS
LS	LICENSED SURVEYOR
(M)	MEASURED
NGS	NATIONAL GEODETIC SURVEY
OCC	OCCUPIED
O.R.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
PID	PERMANENT IDENTIFIER
PSM	PROFESSIONAL SURVEYOR AND MAPPER
(R)	RECORD
TYP	TYPICAL
#	NUMBER
☐	SIGN
*	LANDSCAPE LIGHT
	ASPHALT
	BRICK / PAVING BLOCKS
	CONCRETE
	WOOD OR COMPOSITE DECK

NOTES

- This survey is a graphic depiction of the current boundary in accordance with the legal description shown hereon and may not reflect ownership.
- There may be additional easements, reservations, restrictions and/or other matters of record affecting this property that are not shown hereon that may (or may not) be found in the public records of this county. The undersigned has not performed an independent search for additional records.
- This map is intended to be displayed at a scale of 1" = 30' or smaller.
- The printed dimensions shown on this survey supersede any scaled dimensions; there may be items drawn out of scale to graphically show their location.
- "Certification" is understood to be an expression of professional opinion by the surveyor and mapper based on the surveyor and mapper's knowledge and information, and that it is not a guarantee or warranty, expressed or implied.
- This survey has been exclusively prepared for the named entities shown hereon and is not transferable. No other person or entity is entitled to rely upon and/or re-use this survey for any purpose without the expressed, written consent of George F. Young, Inc. and the undersigned professional surveyor and mapper.
- Unauthorized copies and/or reproductions via any medium of this survey or any portions thereof are expressly prohibited without the written consent of George F. Young, Inc. and the undersigned Professional Surveyor and Mapper.
- Additions or deletions to survey maps or reports by other than the signing party or parties are prohibited without written consent of the signing party or parties.
- This survey is valid as to the last date of field survey and not the signature date (if any).
- This survey map and report (if applicable) or the copies thereof are not valid without the original signature and seal of a Florida licensed Surveyor and Mapper.
- Bearings shown hereon are based on grid coordinates, NAD83/2011, FDOT FPRN, Base station "St. Petersburg" : N10°20'21"W, along the East line of Block "N", DON CE-SAR PLACE, as recorded in Plat Book 13, pages 15 through 20, Public Records of Pinellas County, Florida.
- This survey prepared without the benefit of a title search. No instruments of record reflecting ownership, easements or rights of way were furnished to the undersigned, unless otherwise shown hereon.
- No information on adjoining property owners or adjoining property recording information was provided to the surveyor.
- Forty-eight (48) hours before digging, boring, pile-driving, planting, etc. Notify Sunshine 811 by calling 811 so that underground utilities may be field spotted.
- George F. Young, Inc. and the undersigned make no representations or guarantees pertaining to easements, rights-of-way, setback lines, reservations and/or agreements.
- Control Monument utilized in survey: PCDSM GPS 43, located in the parking lot of St. Pete Beach Access, a Pinellas County park, in the flowerbed East of the restrooms, 19.7 feet North 50° East of North end of 3.5 foot high concrete wall, 21 feet South 70° East of water fountain at restrooms, 2.3 feet South of marker. Published coordinates are Northing: 1,232,131.12, Easting: 416,491.77 (U.S. Survey Feet, Florida State Plane West Zone). Information obtained from the NGS Data Sheet, PID DF5821.
- Per record plat: Blocks "M" and "N" are hereby dedicated to the use of the property-owners in this subdivision for beach and bathing purposes and no tents, vehicles nor structures of any kind shall be permitted thereon.

VICINITY MAP (NOT TO SCALE)



Since 1919

George F. Young, Inc.

289 DR. MARTIN LUTHER KING JR. STREET N. ST. PETERSBURG, FLORIDA 33710-3126
PHONE (772) LICENSED BUSINESS USE 322-2019
CIVIL & TRANSPORTATION ENGINEERING-ECOLOGICAL-LANDSCAPE ARCHITECTURE
GAINESVILLE-LANESWOOD RANCH-ORLANDO-ST. PETERSBURG-TAMPA

NO.	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			

PREPARED FOR:
City of St. Pete Beach

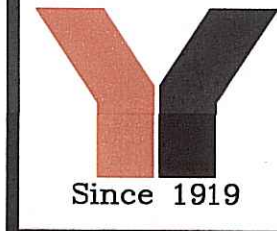
INITIALS	DATE
MAH	06/23/20
WIK	07/09/20
NAC	07/13/20

CREW CHIEF
DRAWN
CHECKED
FIELD BOOK
SCALE
1" = 30'

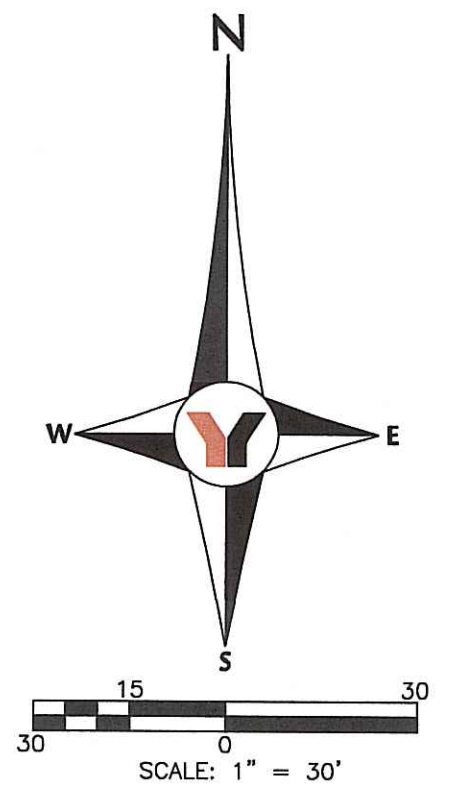
NOTARIAL PUBLIC
STATE OF FLORIDA
My Comm. Expires 07/07/2020
Nicholas M. Cirullo
FSM LS #688

DON CESAR PLACE
SECTION 7
TOWNSHIP 32 S.
RANGE 16 E.
JOB NO.
20002700SS

SHEET NO.
1 OF 7



George F. Young, Inc.
 289 DR. MARTIN LUTHER KING, JR. BLVD., SUITE 200, TAMPA, FL 33609
 PHONE (813) 822-2619 FAX (813) 822-2619
 LICENSED BUSINESS LEADERS
 LICENSED PROFESSIONAL SURVEYORS
 LICENSED PROFESSIONAL ENGINEERS
 LICENSED PROFESSIONAL ARCHITECTS
 LICENSED PROFESSIONAL LANDSCAPE ARCHITECTS
 LICENSED PROFESSIONAL PLANNERS
 LICENSED PROFESSIONAL INSURANCE ADJUSTERS
 LICENSED PROFESSIONAL UTILITY ENGINEERS
 TAMPA - ORLANDO - ST. PETERSBURG - TAMPA



LEGEND

CALC	CALCULATED
CONC	CONCRETE
FIR	FOUND IRON ROD
LB	LICENSED BUSINESS LEADER
LS	LICENSED SURVEYOR
(M)	MEASURED
NGS	NATIONAL GEODETIC SURVEY
OCC	OCCUPIED
O.R.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
PID	PERMANENT IDENTIFIER
PSM	PROFESSIONAL SURVEYOR AND MAPPER
(R)	RECORD
TYP	TYPICAL
#	NUMBER
♣	SIGN
*	LANDSCAPE LIGHT
[Pattern]	ASPHALT
[Pattern]	BRICK / PAVING BLOCKS
[Pattern]	CONCRETE
[Pattern]	WOOD OR COMPOSITE DECK

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

PREPARED FOR:
 City of St. Pete Beach

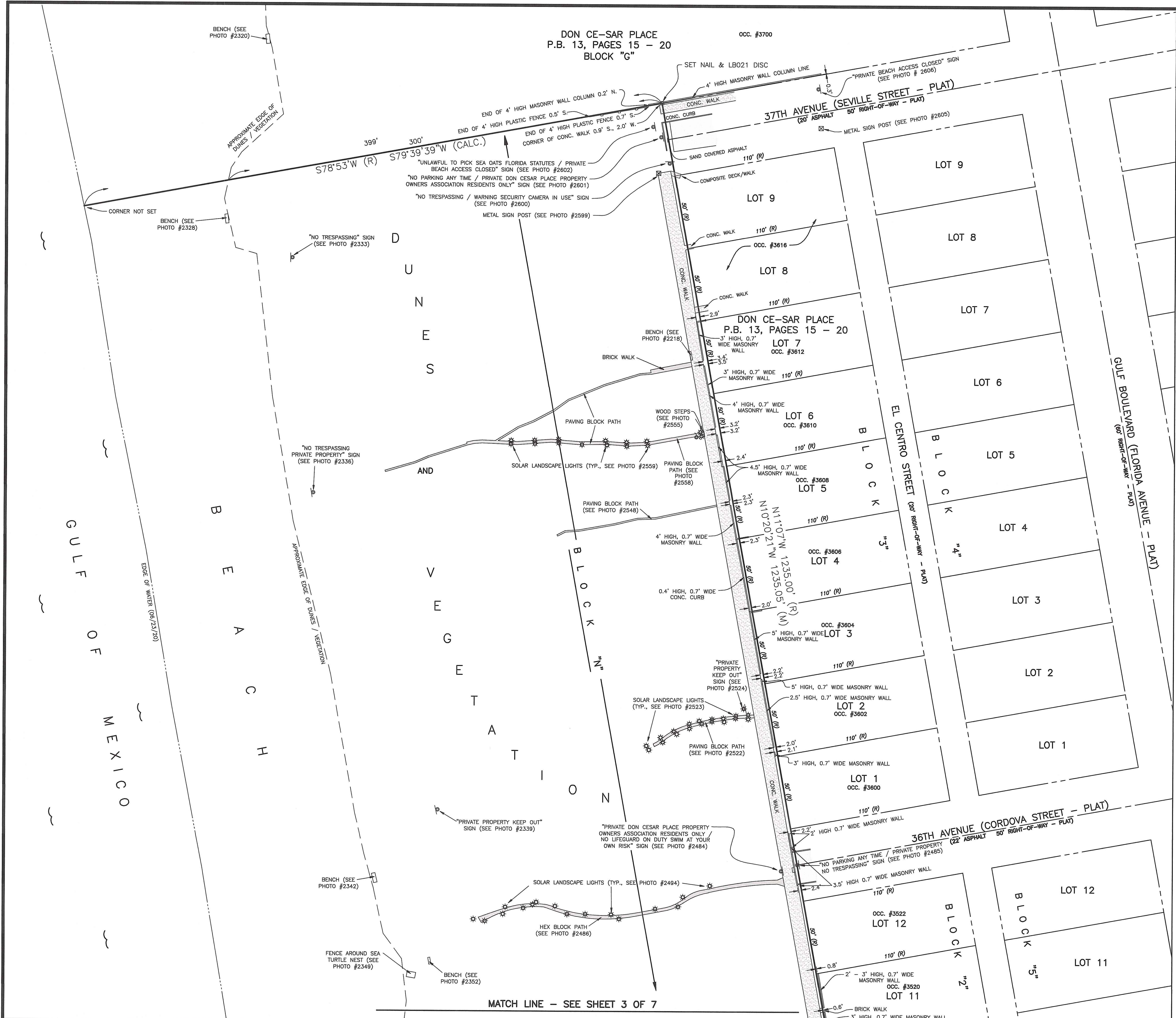
INITIALS	DATE	SCALE
MAH	06/23/20	1" = 30'
WIK	07/09/20	
INC	07/13/20	

SEE SHEET 1 OF 7 FOR DESCRIPTION, LEGEND, VICINITY MAP, NOTES, SIGNATURE AND SEAL

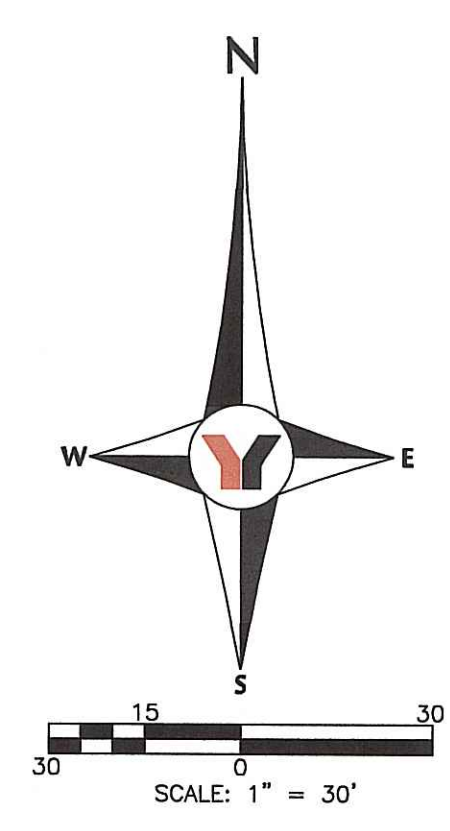
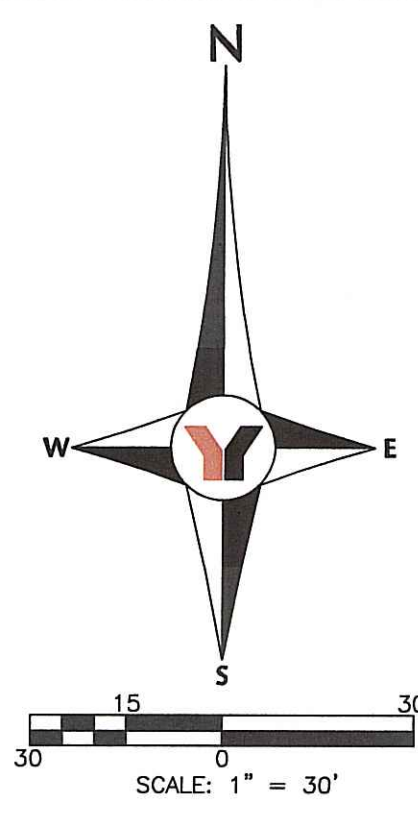
DON CESAR PLACE
 TOWNSHIP 32 S. RANGE 16 E. SECTION 7
 JOB NO. 20002700SS
 SHEET NO. 2 OF 7

DON CE-SAR PLACE
 P.B. 13, PAGES 15 - 20
 BLOCK "G"

OCC. #3700




MATCH LINE - SEE SHEET 3 OF 7



LEGEND

CALC	CALCULATED
CONC	CONCRETE
FIR	FOUND IRON ROD
LB	LICENSED BUSINESS
LS	LICENSED SURVEYOR
(M)	MEASURED
NGS	NATIONAL GEODETIC SURVEY
OCC	OCCUPIED
O.R.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
PID	PERMANENT IDENTIFIER
PSM	PROFESSIONAL SURVEYOR AND MAPPER
(R)	RECORD
TYP	TYPICAL
#	NUMBER
⊙	SIGN
⊛	LANDSCAPE LIGHT
[Pattern]	ASPHALT
[Pattern]	BRICK / PAVING BLOCKS
[Pattern]	CONCRETE
[Pattern]	WOOD OR COMPOSITE DECK



Since 1919

George F. Young, Inc.
 289 DR. MARTIN LUTHER KING JR. STREET N. ST. PETERSBURG, FLORIDA 33710-3126
 PHONE (727) 382-4311 FAX (727) 822-2919
 CIVIL & TRANSPORTATION ENGINEERING - ECOLOGY - GIS - LANDSCAPE ARCHITECTURE
 PLANNING - SURVEYING - SUBSURFACE UTILITY ENGINEERING
 GAINESVILLE - GAITHERSBURG - WASHINGTON DC - PETERSBURG - TAMPA

NO.	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			

PREPARED FOR: **City of St. Pete Beach**

INITIALS	DATE	DESCRIPTION
WAH	06/23/20	DATE
WIK	07/09/20	CREW CHIEF
NMC	07/13/20	DRAWN
		CHECKED
		FIELD BOOK
		SCALE

SEE SHEET 1 OF 7 FOR DESCRIPTION, LEGEND, NOTES, AND SEAL

DON CESAR PLACE

SECTION 7 TOWNSHIP 32 S. RANGE 16 E. JOB NO. 20002700SS SHEET NO. 3 OF 7

FILE: \\PROJECT\GIS\2002700SS\DWG\2002700SS001.DWG



George F. Young, Inc.
 209 DR. MARTIN LUTHER KING, JR. STREET N. ST. PETERSBURG, FLORIDA 33701-3126
 PHONE (727) 822-4242 FAX (727) 822-2919
 CIVIL & TRANSPORTATION ENGINEERING • ECOLOGY • GIS • LANDSCAPE ARCHITECTURE
 PLANNING • SURVEYING • SUBSURFACE UTILITY ENGINEERING
 GAINESVILLE • GORNBURG PARK • PALM BACH • ST. PETERSBURG • TAMPA

NO.	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			

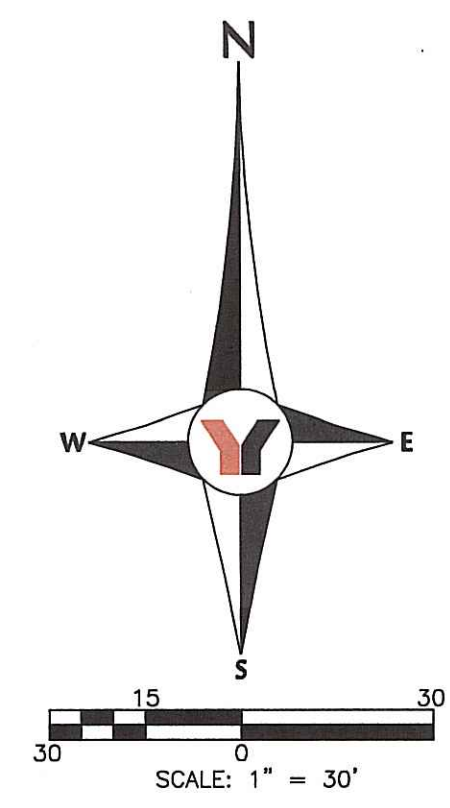
PREPARED FOR:
City of St. Pete Beach

INITIALS	DATE	SCALE
MAH	06/23/20	1" = 30'
WJK	07/09/20	
INC	07/17/20	

SEE SHEET 1 OF 7 FOR DESCRIPTION, LEGEND, SIGNATURE AND SEAL

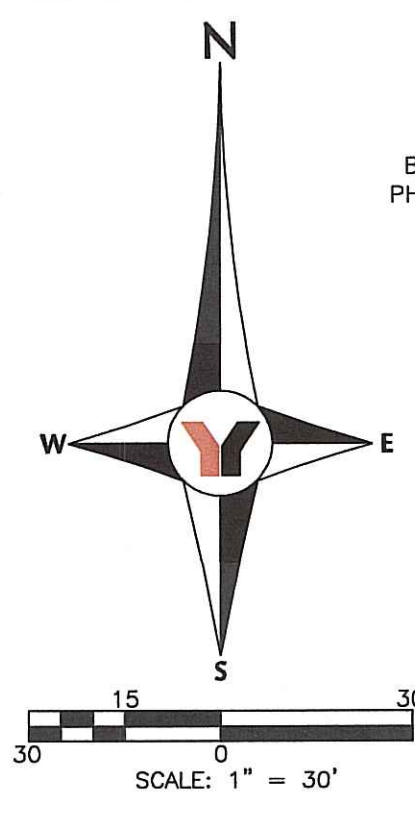
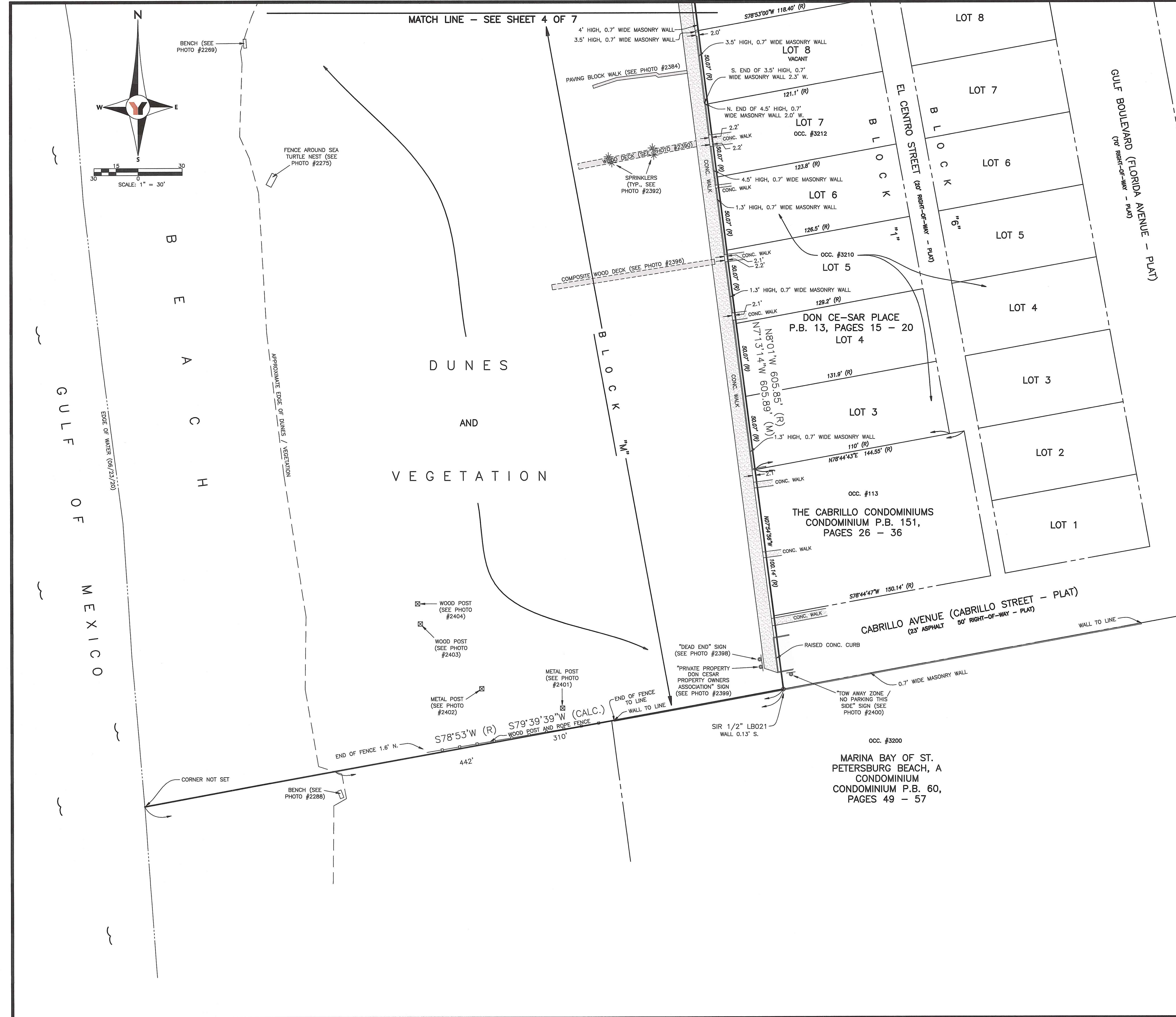
DON CESAR PLACE
 SECTION 7 TOWNSHIP 32 S. RANGE 16 E.
 JOB NO. 20002700SS
 SHEET NO. 5 OF 7

DATE: 07/17/20 12:25:03 USER: GSEB



- LEGEND**
- CALC CALCULATED
 - CONC CONCRETE
 - FIR FOUND IRON ROD
 - LB LICENSED BUSINESS
 - LS LICENSED SURVEYOR
 - (M) MEASURED
 - NGS NATIONAL GEODETIC SURVEY
 - OCC OCCUPIED
 - O.R. OFFICIAL RECORDS BOOK
 - PLAT BOOK PLAT BOOK
 - PID PERMANENT IDENTIFIER
 - PSM PROFESSIONAL SURVEYOR AND MAPPER
 - (R) RECORD
 - TYP TYPICAL
 - # NUMBER
 - ⊕ SIGN
 - * LANDSCAPE LIGHT
 - [Pattern] ASPHALT
 - [Pattern] BRICK / PAVING BLOCKS
 - [Pattern] CONCRETE
 - [Pattern] WOOD OR COMPOSITE DECK

MATCH LINE - SEE SHEET 4 OF 7



B E A C H

GULF OF MEXICO

BENCH (SEE PHOTO #2269)

FENCE AROUND SEA TURTLE NEST (SEE PHOTO #2275)

APPROXIMATE EDGE OF DUNES / VEGETATION

DUNES AND VEGETATION

WOOD POST (SEE PHOTO #2404)

WOOD POST (SEE PHOTO #2403)

METAL POST (SEE PHOTO #2402)

METAL POST (SEE PHOTO #2401)

BENCH (SEE PHOTO #2288)

"DEAD END" SIGN (SEE PHOTO #2398)

"PRIVATE PROPERTY DON CESAR PROPERTY OWNERS ASSOCIATION" SIGN (SEE PHOTO #2399)

TOW AWAY ZONE NO PARKING THIS SIDE SIGN (SEE PHOTO #2400)

MARINA BAY OF ST. PETERSBURG BEACH, A CONDOMINIUM CONDOMINIUM P.B. 60, PAGES 49 - 57

CABRILLO AVENUE (CABRILLO STREET - PLAT)
 (23' ASPHALT 50' RIGHT-OF-WAY - PLAT)

GULF BOULEVARD (FLORIDA AVENUE - PLAT)
 (50' RIGHT-OF-WAY - PLAT)

EL CENTRO STREET
 (50' RIGHT-OF-WAY - PLAT)

BLOCK

THE CABRILLO CONDOMINIUMS CONDOMINIUM P.B. 151, PAGES 26 - 36

LOT 6
 OCC. #3212

LOT 5
 OCC. #3210

DON CE-SAR PLACE P.B. 13, PAGES 15 - 20
 LOT 4

LOT 3

LOT 2

LOT 1

LOT 6
 OCC. #113

LOT 7

LOT 8
 VACANT

LOT 8
 OCC. #3200

LOT 8
 OCC. #3200

PHOTO #2218
BENCH (SEE SHEET 2 OF 7)



PHOTO #2251
BENCH (SEE SHEET 4 OF 7)



PHOTO #2255
BENCH (SEE SHEET 4 OF 7)



PHOTO #2260
BENCH (SEE SHEET 4 OF 7)



PHOTO #2269
BENCH (SEE SHEET 5 OF 7)



PHOTO #2275
SEATURTLE FENCE (SEE SHEET 5 OF 7)



PHOTO #2288
BENCH (SEE SHEET 5 OF 7)



PHOTO #2320
BENCH (SEE SHEET 2 OF 7)



PHOTO #2328
BENCH (SEE SHEET 2 OF 7)



PHOTO #2333
SIGN (SEE SHEET 2 OF 7)



PHOTO #2336
SIGN (SEE SHEET 2 OF 7)

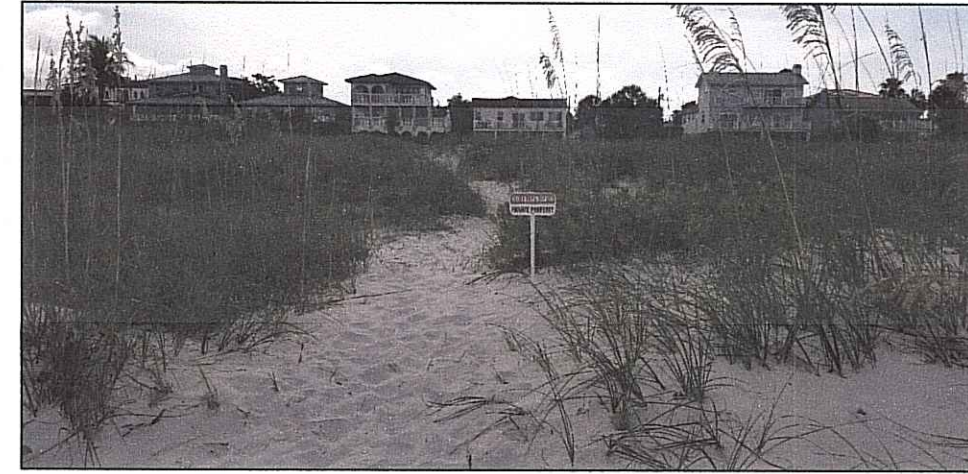


PHOTO #2339
SIGN (SEE SHEET 2 OF 7)



PHOTO #2342
BENCH (SEE SHEET 2 OF 7)



PHOTO #2349
SEATURTLE FENCE (SEE SHEET 2 OF 7)



PHOTO #2352
BENCH (SEE SHEET 2 OF 7)



PHOTO #2362
SEATURTLE FENCE (SEE SHEET 3 OF 7)

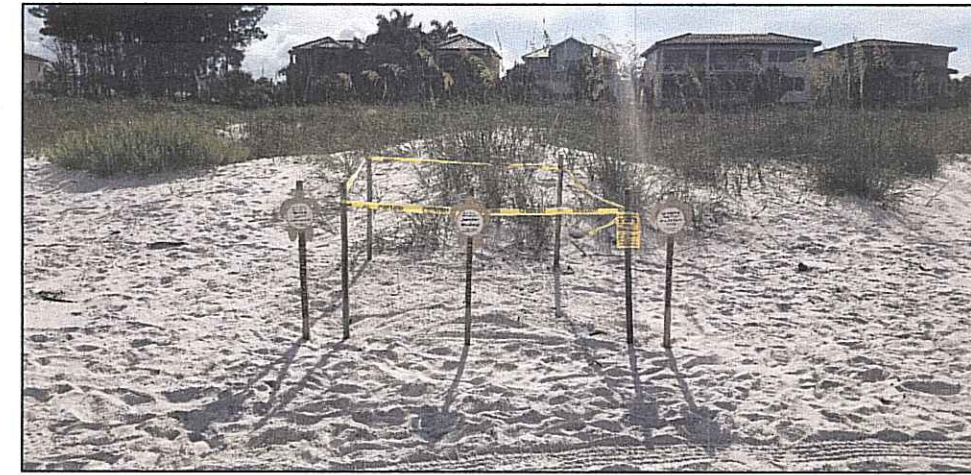


PHOTO #2376
BENCH (SEE SHEET 3 OF 7)



PHOTO #2379
BENCH (SEE SHEET 3 OF 7)



PHOTO #2403
WOOD POST (SEE SHEET 5 OF 7)



PHOTO #2404
WOOD POST (SEE SHEET 5 OF 7)



PHOTO #2382
SIGN (SEE SHEET 4 OF 7)



PHOTO #2392
SPRINKLER (SEE SHEET 5 OF 7)



PHOTO #2400
SIGN (SEE SHEET 5 OF 7)



PHOTO #2407
SIGN (SEE SHEET 3 OF 7)



PHOTO #2383
SIGN (SEE SHEET 4 OF 7)



PHOTO #2396
WOOD DECK (SEE SHEET 5 OF 7)



PHOTO #2401
METAL POST (SEE SHEET 5 OF 7)



PHOTO #2408
SIGN (SEE SHEET 3 OF 7)



PHOTO #2384
PAVING BLOCK WALK (SEE SHEET 5 OF 7)



PHOTO #2398
SIGN (SEE SHEET 5 OF 7)



PHOTO #2402
METAL POST (SEE SHEET 5 OF 7)



PHOTO #2409
CONCRETE WALK (SEE SHEET 3 OF 7)



PHOTO #2390
WOOD DECK (SEE SHEET 5 OF 7)

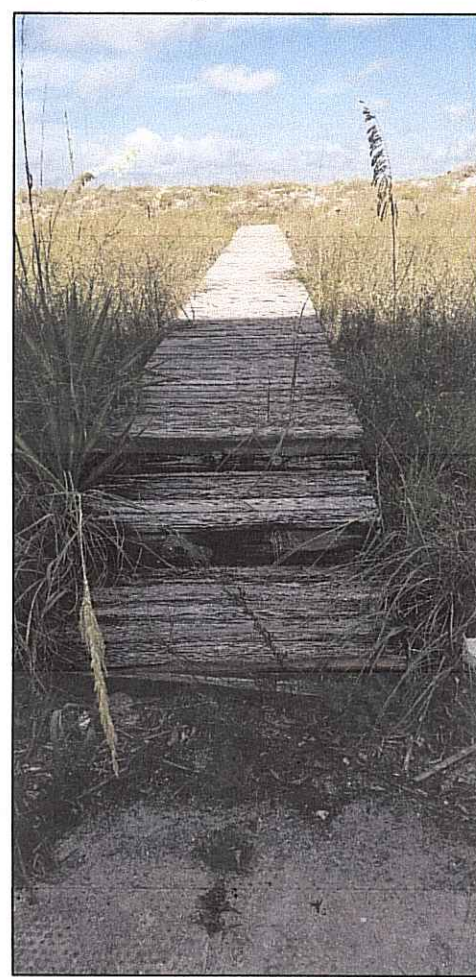


PHOTO #2399
SIGN (SEE SHEET 5 OF 7)



PHOTO #2406
SIGN (SEE SHEET 3 OF 7)



PHOTO #2413
LANDSCAPE LIGHT (SEE SHEET 3 OF 7)



Since 1919
George F. Young, Inc.
288 DR. MARTIN LUTHER KING, JR. STREET N. ST. PETERSBURG, FL 33701-3128
PHONE (772) 827-4317 FAX (772) 822-2919
BUSINESS LICENSE # 128
LANDSCAPE ARCHITECTURE
CIVIL & TRANSPORTATION ENGINEERING
PLANNING SURVEYING SUBSURFACE UTILITY ENGINEERING
GAINESVILLE LAKEWOOD RANCH, PETERSBURG TAMPA

NO.	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			

PREPARED FOR:
City of St. Pete Beach

INITIALS	DATE
CREW CHIEF	06/23/20
DRAWN	07/09/20
CHECKED	07/13/20

SCALE: 1" = 30'
FIELD BOOK

SEE SHEET 1 OF 7
FOR DESCRIPTION,
LEGEND, VICINITY MAP,
NOTES, SIGNATURE
AND SEAL

DON CESAR PLACE
SECTION 7
TOWNSHIP 32 S. RANGE 16 E.
JOB NO. 20002700SS
SHEET NO. 6 OF 7

PHOTO #2423
WOOD POSTS (SEE SHEET 3 OF 7)



PHOTO #2425
CONCRETE WALK (SEE SHEET 3 OF 7)



PHOTO #2427
CONCRETE WALK (SEE SHEET 3 OF 7)

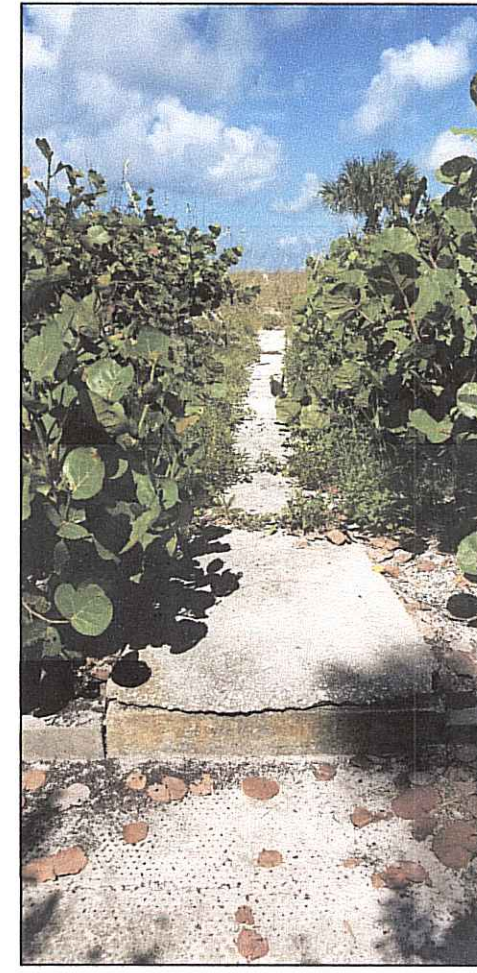


PHOTO #2429
CONCRETE WALK (SEE SHEET 3 OF 7)



PHOTO #2435
WOOD DECK (SEE SHEET 3 OF 7)



PHOTO #2437
PAVING BLOCK WALK (SEE SHEET 3 OF 7)



PHOTO #2447
SIGN (SEE SHEET 3 OF 7)



PHOTO #2448
CONCRETE WALK (SEE SHEET 3 OF 7)



PHOTO #2450
RUBBER TILES PATH (SEE SHEET 3 OF 7)

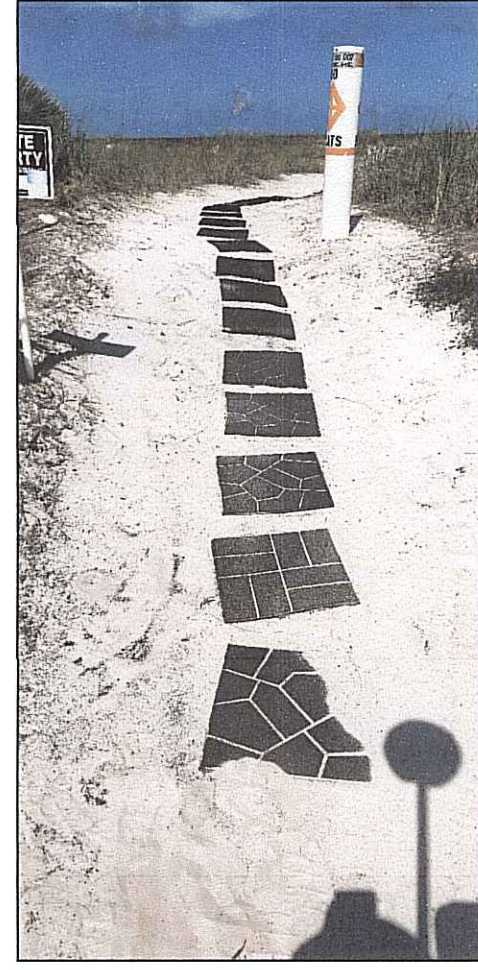


PHOTO #2451
SIGN (SEE SHEET 3 OF 7)



PHOTO #2452
BUOY (SEE SHEET 3 OF 7)

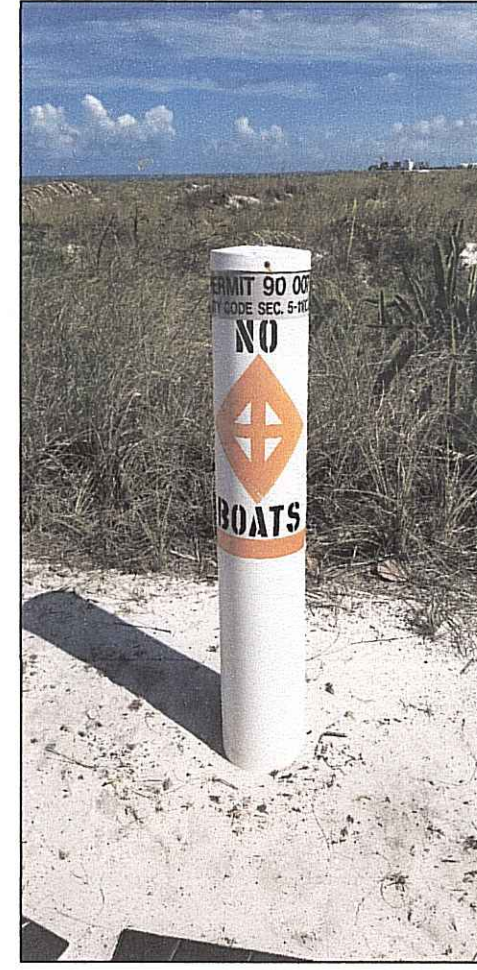


PHOTO #2464
SIGN (SEE SHEET 3 OF 7)

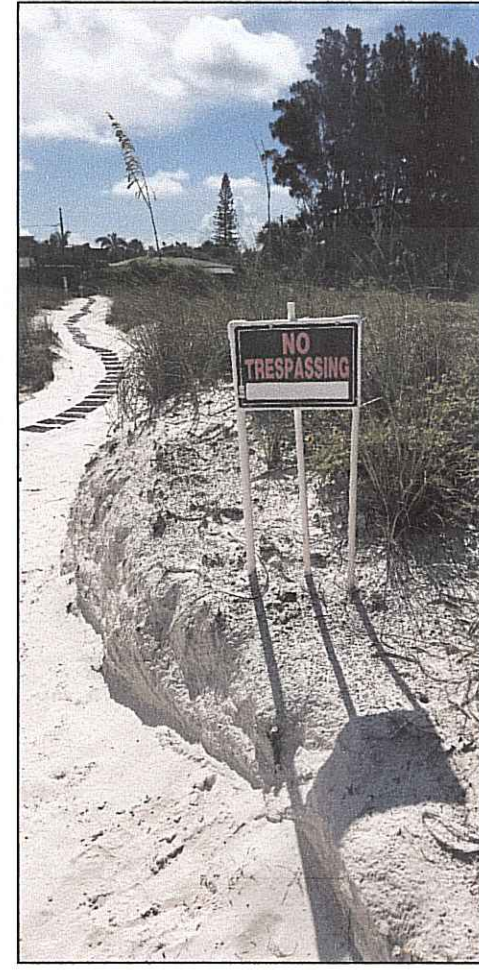


PHOTO #2465
CONCRETE WALK (SEE SHEET 3 OF 7)

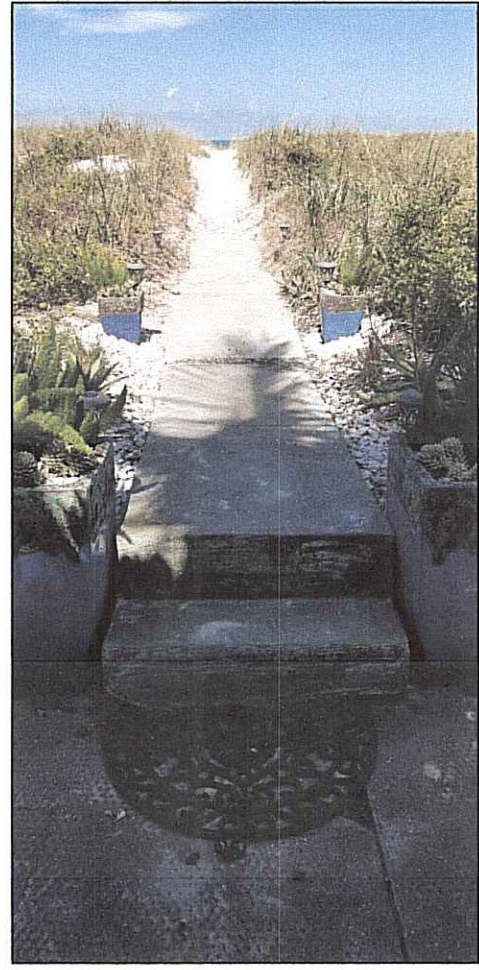


PHOTO #2466
LANDSCAPE LIGHT (SEE SHEET 3 OF 7)



PHOTO #2484
SIGN (SEE SHEET 2 OF 7)

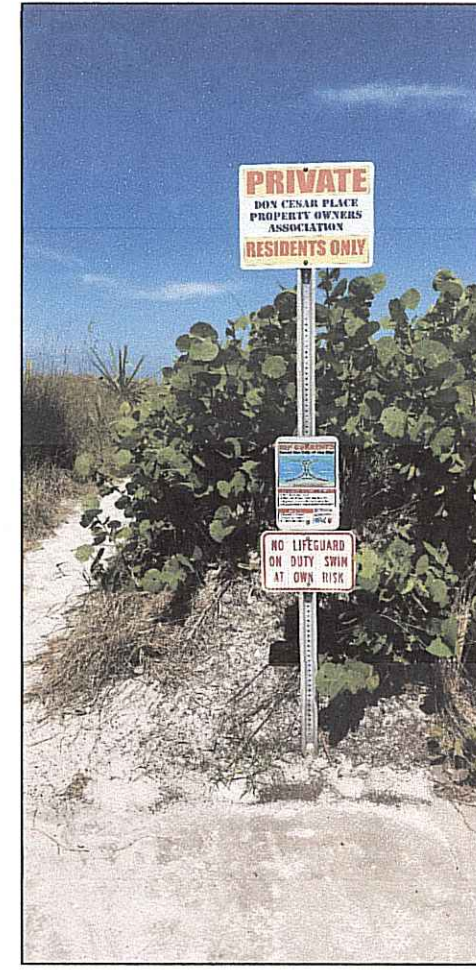


PHOTO #2485
SIGN (SEE SHEET 2 OF 7)



PHOTO #2486
HEX BLOCK WALK (SEE SHEET 2 OF 7)



PHOTO #2494
LANDSCAPE LIGHT (SEE SHEET 2 OF 7)

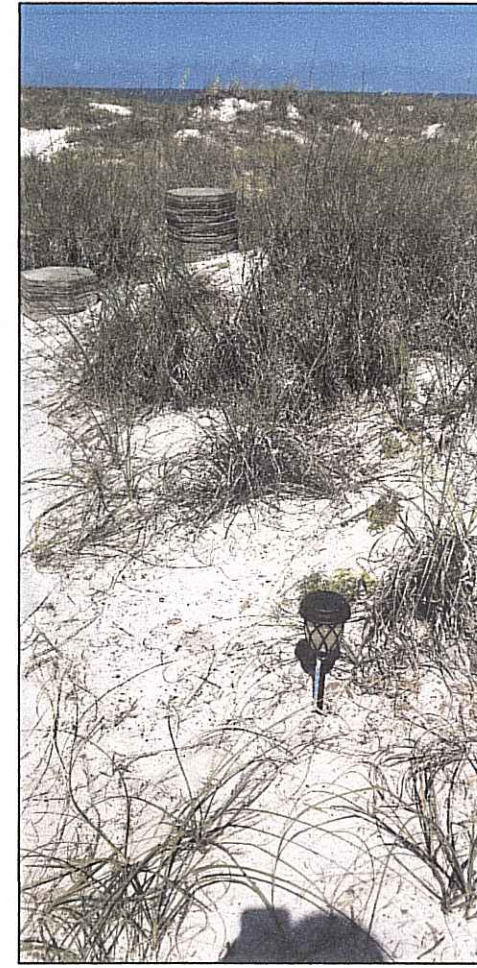


PHOTO #2522
PAVING BLOCK WALK (SEE SHEET 2 OF 7)

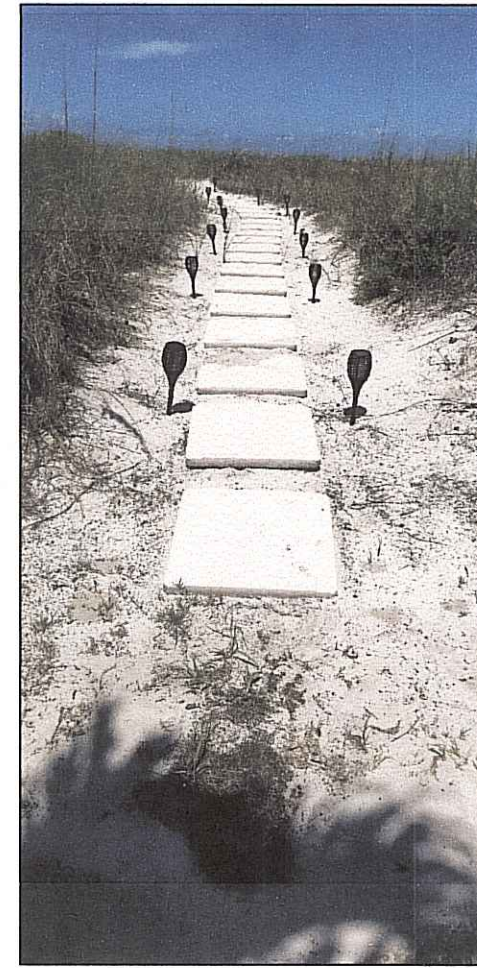


PHOTO #2523
LANDSCAPE LIGHT (SEE SHEET 2 OF 7)



PHOTO #2524
SIGN (SEE SHEET 2 OF 7)



PHOTO #2548
PAVING BLOCK WALK (SEE SHEET 2 OF 7)

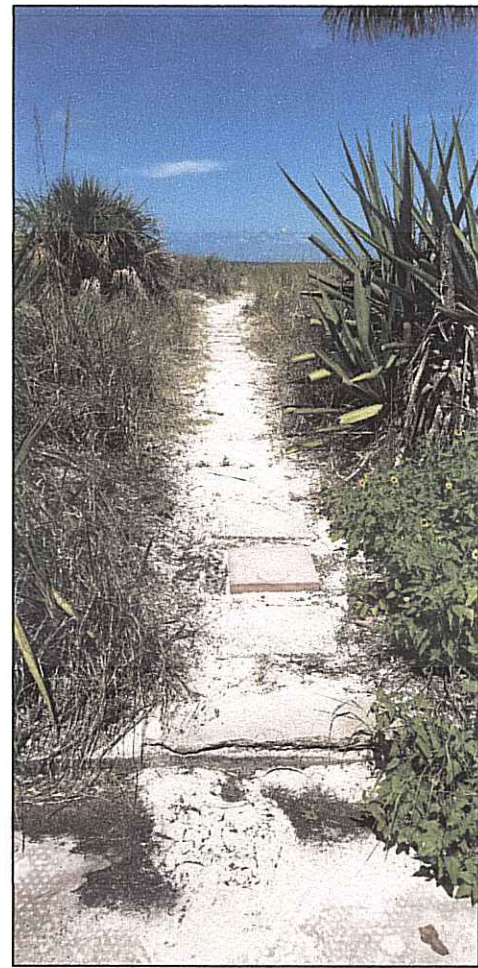


PHOTO #2555
WOOD STEPS (SEE SHEET 2 OF 7)



PHOTO #2558
PAVING BLOCK WALK (SEE SHEET 2 OF 7)



PHOTO #2559
LANDSCAPE LIGHT (SEE SHEET 2 OF 7)



PHOTO #2599
METAL POST (SEE SHEET 2 OF 7)



PHOTO #2600
SIGN (SEE SHEET 2 OF 7)



PHOTO #2601
SIGN (SEE SHEET 2 OF 7)



PHOTO #2602
SIGN (SEE SHEET 2 OF 7)



PHOTO #2605
METAL POST (SEE SHEET 2 OF 7)

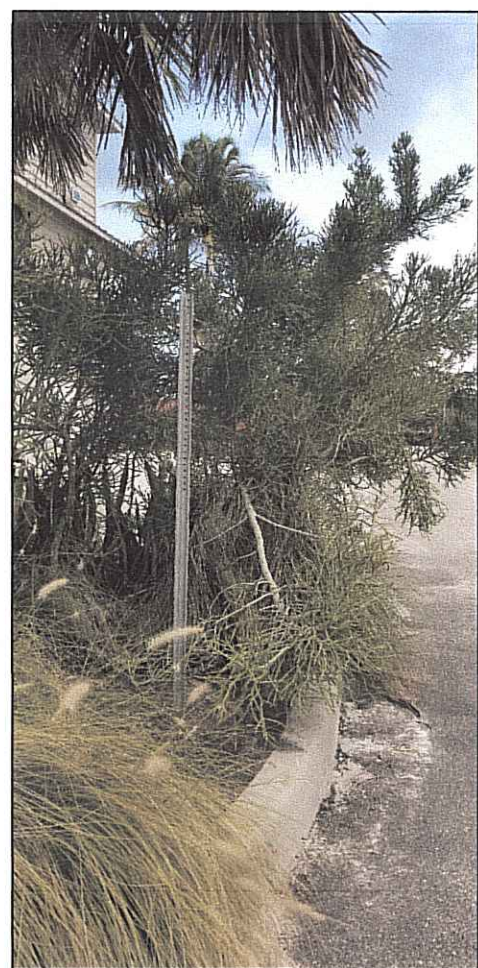


PHOTO #2606
SIGN (SEE SHEET 2 OF 7)



Y
Since 1919

George F. Young, Inc.
299 DR. MARTIN LUTHER KING, JR. STREET N. ST. PETERSBURG, FLORIDA 33701-3126
PHONE (727) 822-4311 FAX (727) 822-2919
CIVIL & TRANSPORTATION ENGINEERING • ECOLOGY • GIS • LANDSCAPE ARCHITECTURE
PLANNING • SURVEYING • SUBSURFACE UTILITY ENGINEERING
GAINESVILLE • GAITHERSBURG • RAINY RANCH • ORLANDO • ST. PETERSBURG • TAMPA

NO.	BY	DATE	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			

REVISIONS

PREPARED FOR:
City of St. Pete Beach

INITIALS	DATE
CREW CHIEF	06/23/20
DRAWN	07/09/20
CHECKED	07/13/20
FIELD BOOK	
SCALE	1" = 30'

SEE SHEET 1 OF 7 FOR DESCRIPTION, LEGEND, VICINITY MAP, NOTES, SIGNATURE AND SEAL

DON CESAR PLACE

SECTION 7 TOWNSHIP 32. S. RANGE 16 E.

JOB NO. 20002700SS
SHEET NO. 7 OF 7
PLOTED: 07/13/20 12:28:13 USER: USER